

ABBREVIATIONS

A/C	air conditioning	ELECT	electric, electrical	MAS	masonry	REF	refrigerator
A.C.T.	acoustical tile	ELEV	elevation	MAX	maximum	REG	register
ADJ	adjacent	ENCL	enclosure	MDO	medium density overlay	REINF	reinforce (d)
ABV	above	ENGR	engineer	MECH	mechanical	REQD	required
AFF	above finish floor	EQ	equal	MED	medium	REV	revision
ASF	above sub floor	EST	estimate	MET	metal	RFG	roofing
ALUM	Aluminum	EXIST	existing	MFD	manufactured	RH	right hand
ALT	alternative	EXT	exterior	MFR	manufacturer	R.L.	rain leader
A/O	and/or			MIN	minimum	RM	room
APPROX	approximately	F/	face of	MISC	miscellaneous	R.O.	rough opening
ARCH	architect, architectural	F.D.	floor drain	MLDG	moulding	ROW	right of way
ASPH	asphalt	FDN	foundation	M.O.	masonry opening	R.S.	rough sawn
AUTO	automatic	FF	finished floor	MTD	mounted		
		FIN	finish (ed)			S	South
B/	bottom of	FLR	floor	N	North	SBFL	subfloor
BD	board	FRT	fire retardant	NA	not applicable	SC	solid core
BEADBD	beadboard or	FS	full size/scale	NIC	not in contract	SCH	schedule
	"wainscoting"	FTG	footing	NO.	number	SECT	section
BTWN	between	FV	field verify	NOM	nominal	SHT	sheet
BLDG	building	FBGLS	fiberglass	NTS	not to scale	SHT'G	sheathing
BLK	block			OA	overall	SHM	similar
BLKG	blocking	G&N	glue & nail	OC	on center	SPEC	specification
BRK	brick	GALV	galvanized	OCT	octagonal	SPKR	speaker
BSMT	basement	GL	glass	OD	outside diameter	SQ	square
		OH	overhead	OPNG	opening	ST	stone
C	course (s)	GWB	gypsum wallboard	OPP	opposite	STD	standard
CAB	cabinet	GWB/X	gypsum wallboard type X (firecode)	OPT	optional	STL	steel
CER	ceramic			ORIG	original	STOR	storage
C.I.	cast iron					STR'L	structural
CL	center line					SUSP	suspended
CL	closet	HB	hose bib	PCF	pounds per cubic foot	SYM	symmetrical
CLR	clear	HC	hollow core	PL	plate	T	tread
CMU	concrete masonry unit	H'CAP	handicapped	PLBG	plumbing	T/	top of
COL	column	HDWR	hardware	PLBR	plumber	TC	terra cotta
CONC	concrete	HEX	hexagonal	PLF	pounds per linear foot	TEL	telephone
COND	condition	HGT	height	PLF	parallel	T & G	tongue and groove
CONST	construction	HM	hollow metal	PLL	parallel	TH	thickness
CONT	continuous	HORIZ	horizontal	PL. LAM	plastic laminate	TLT	toilet
CONTR	contract (or)	H.P.	high point	PLYWD	plywood	TV	television
CPT	carpet	HR	hour/hand rail	PSF	pounds per square foot	TYP	typical
CT	ceramic tile	HTG	heating	PSI	pounds per square inch		
CTV	cable tv	HVAC	heating/ventilating/	PT	point	UL	underwriters laboratories
CU	cubic		air conditioning	P.T.	preservative treated (pressure)	UNO	unless noted otherwise
		ID	inside diameter	PTD	painted	VB	vapor barrier
D	deep/depth	INCL	including	PTN	partition	VR	vapor retarder
DBL	double	INSUL	insulation			VCT	vinyl composition tile
DET	detail	INT	interior	QT	quarry tile	VERT	vertical
DF	douglas fir/drinking fountain					W	West or width/wide
DIA/Ø	diameter	JT	joint	R	riser	w/	with
DIM	dimension			RAD	radius	WC	water closet
DIV	division	L	length	RBT	rabbit	WD	wood
DL	dead load	LAM	laminated	R.D.	roof drain	WDW	window
DN	down	LAV	lavatory	REF	reinforcing bar	WG	wire glass
DEG/°	degrees	LB	pound		reference	WH	wall hung
DR	door/dining room	LH	left hand			W/I	within
DSP	downspout	LIN	linen			W/O	without
DW	dishwasher	LL	live load			WR	water resistant
DWG	drawing	LLV	long leg vertical			WWM	welded wire mesh
		LR	living room				
E	East	LT	light				
EA	each	LVL	laminated veneer lumber				

NOTE: CONTRACTOR MUST REQUEST ARCHITECT'S INTERPRETATION OF ANY OTHER ABBREVIATIONS USED ON THESE DRAWINGS BEFORE PROCEEDING.

ARCHITECTURAL SYMBOLS

	EARTH		DETAIL/SECTION Reference/Dwg. No.
	GRAVEL		INTERIOR ELEVATIONS
	CONCRETE		ROOM NO.
	BRICK		PARTITION (See plans for construction key)
	CONCRETE MASONRY UNITS		HIDDEN FEATURES (Below)
	CUT STONE		OVERHEAD FEATURES (Archway, Cornices, etc.)
	RUBBLE STONE		NORTH ARROW
	METAL (large scale)		ELEVATION LEVEL
	METAL (small scale)		WINDOW
	PLYWOOD (large scale)		DOOR
	FINISHED WOOD		SPECIFIC NOTE, AS INDICATED ON DWGS
	WOOD FRAMING (ROUGH)		REVISION
	BLOCKING		PARTITION
	INSULATION (loose or batt)		BEAM DESIGNATION (floor & unit)
	RIGID INSULATION		

LIST OF DRAWINGS

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A-1 First Floor Plan

A-2 Second Floor Plan

A-3 Third, Fourth & Tower Roof Plans

A-4 Building Sections

A-5 East & North Elevations

A-6 West & South Elevations

A-7 Window & Room Rehabilitation Schedules

A-8 Roof Details

STABILIZATION & RESTORATION PLANS FOR THE

MOHONK PRESERVE TESTIMONIAL GATEWAY

NEW PALTZ, NEW YORK

OWNER:
MOHONK PRESERVE, INC.
P.O. BOX 715
NEW PALTZ, NEW YORK 12569

ARCHITECT:
CRAWFORD & STEARNS
ARCHITECTS AND PRESERVATION PLANNERS
134 WALTON STREET
SYRACUSE, NEW YORK 13202

ARCHITECT'S PROJECT NUMBER: 1502

DATE: MAY, 2015

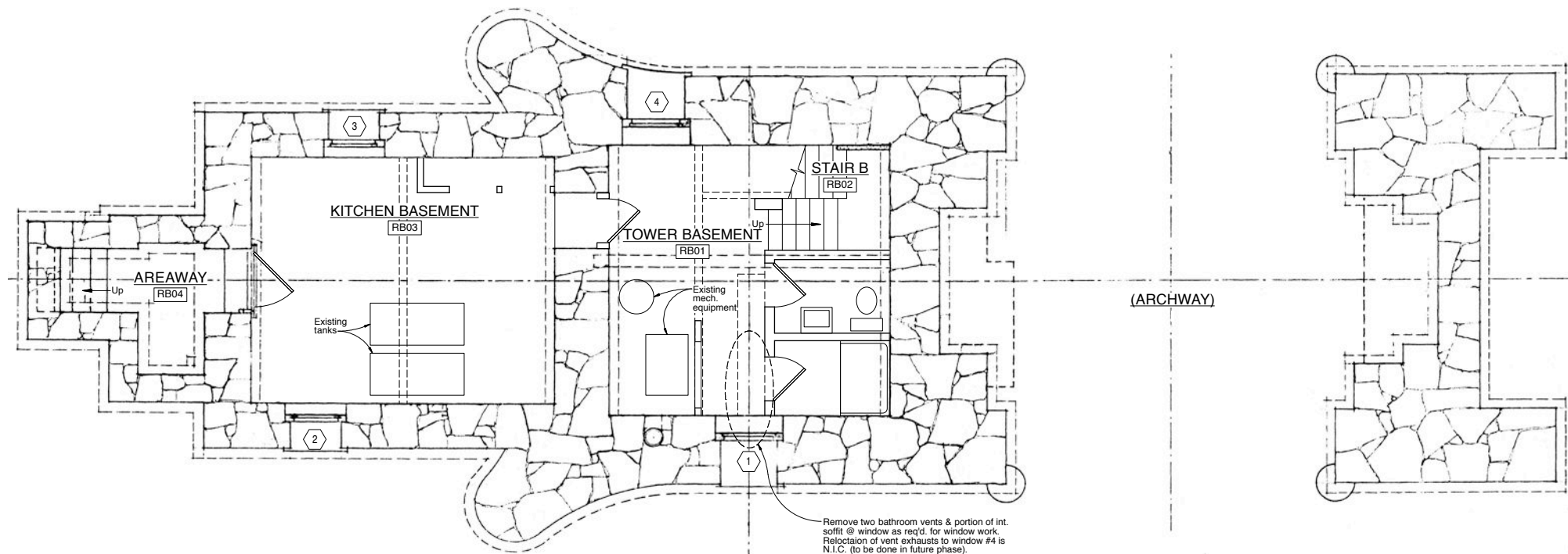
TYPICAL NOTES

1. All Contractors must verify all field conditions & dimensions prior to commencement of the work of the contract & coordinate accordingly. Notify the architect promptly of any inconsistencies or conditions which could contribute to a material change in the scope or execution of the work as defined by the contract documents.
2. Unless otherwise specifically indicated, all work for which a building permit is issued shall comply with all applicable portions of the Building Code of New York State, the Residential Code of New York State, the Fuel Gas Code of New York State, the Mechanical Code of New York State, the Plumbing Code of New York State, the Property Maintenance Code of New York State, the Fire Code of New York State, the Energy Conservation Construction Code of New York State, and all supplementary codes and standards referenced therein. In the event that multiple codes apply, including any applicable local ordinances, the Contractor shall comply with the most stringent requirements.
3. In the event of inconsistencies in the contract documents or of inadequate information, consult with the Architect.
4. Provide labor, material, equipment and services required to execute and complete all items of work as shown or indicated on the drawings and as specified herein, including incidental items to effect a finished and complete job, even though such items are not shown or particularly mentioned.
5. Structural work, including material stresses and methods of construction, shall be in compliance with the New York State Fire Prevention and Building Code, the Uniform Building Code, OSHA and governing agencies having jurisdiction.
6. Contractor shall be responsible for shoring and temporary supports. All means, methods, scheduling and sequencing of work shall be the responsibility of the Contractor. Shoring and temporary support of structure and any engineering costs associated with it to facilitate completing of the work of this contract are the responsibility of the Contractor.
7. Contractor shall use construction methods that are in strict accordance with manufacturer's specifications.
8. Centerline of footings, walls, grade beams, columns, and beams shall coincide, unless otherwise noted. Beams and joists shall be equally spaced between columns, unless otherwise noted.
9. Stainless steel connectors, including hangers, nails, screws, bolts, & plates, shall be used for all pressure treated woods that are ACQ-C (Alkaline Copper Quat Type C), ACQ-D Carbonate (Alkaline Copper Quat Type D, Carbonate formulation), CBA-A and CA-B (Copper Azole Types A and B), or as specifically recommended by pressure treated lumber manufacturer.
10. Material and equipment storage shall be on site and as directed by Owner.
11. Maintain premises and public properties free from accumulations of waste materials, debris and rubbish caused by operations.
12. After completion of work, Contractor shall remove all waste materials, rubbish, tools, and surplus materials and clean sight exposed surfaces. Construction site shall be organized and cleaned up by Contractor on a daily basis.
13. The Contractor shall restore to its original condition all site appurtenances damaged under this contract at no additional cost to the Owner.
14. All details, sections and notes shown on the drawings are intended to be typical and shall apply to similar situations elsewhere, unless specifically shown or noted otherwise.
15. Do not scale the drawings.
16. Dimensions are typically to rough framing, UNO.
17. Scales on drawings are in reference to the full size 22"x34" drawing sheet. For the 11"x17" format, reduce written scales by 50%.

IMAGE



DSC08359



Window Restoration:

- 1 & 3 at this level will be new clad wooden casement windows w/ insulated glass. See Window Schedule on A-7.
2 & 4 at this level will be cleaned, repaired & painted.

Selective Finishes Removal:

Generally N. I. C. at this level unless mandated by hazmat mitigation.
Removal of bathroom vents & soffit is included per plan above.

1 Basement Plan
A-0 1/4" = 1'-0"



- General Notes:
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Stabilization & Restoration Plans for the
Mohonk Preserve Testimonial Gateway
New Paltz, New York

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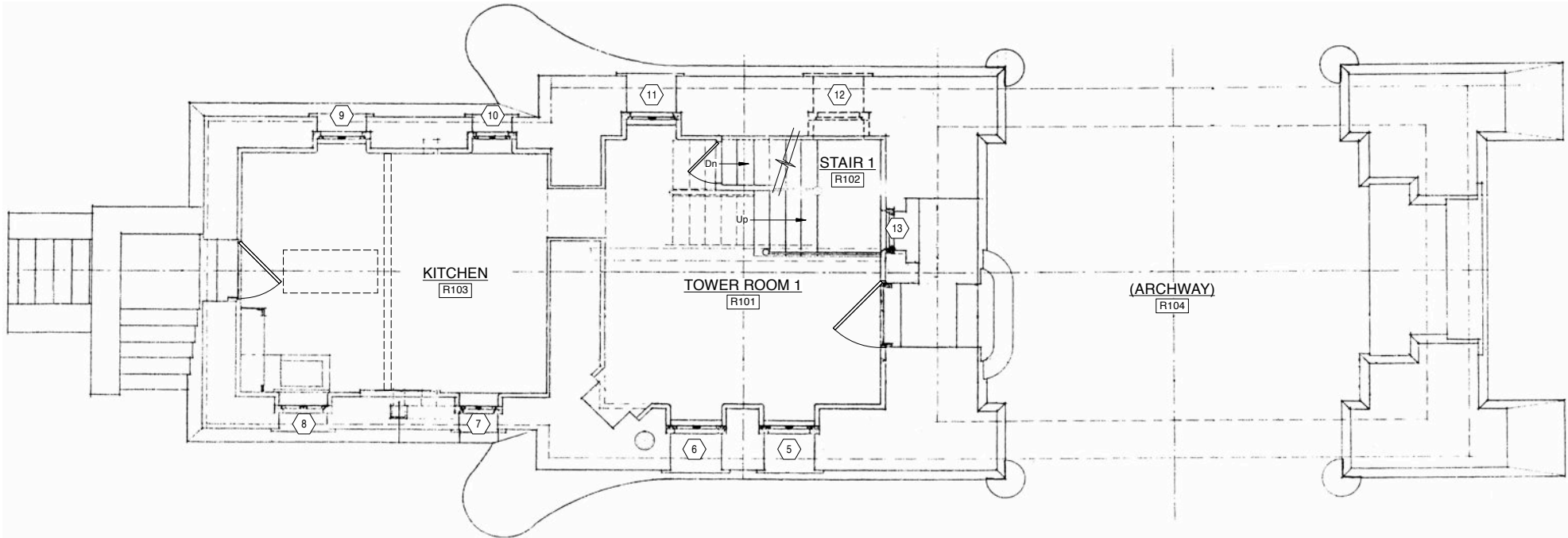
Basement Plan

REVISION DATES

PRELIMINARY
5.7.15
NOT FOR
CONSTRUCTION

PROJECT #: 1502
BY: CKD: CDS
DATE: May, 2015
DWG. NO.:

A-0



Window Restoration:

5 through 12 at this level will all be new clad wooden casement windows w/ "leaded" insulating glass. 5 & 6 will also have clad fixed wooden transoms w/ leaded glass. 13 will be cleaned, repaired & repainted. See window schedule.

Selective Finishes Removal:

In general, remove gypsum/plaster board walls & ceilings, but not wooden framing, in all rooms. Leave related wooden framing in place.

1 First Floor Plan
A-1 1/4" = 1'-0"



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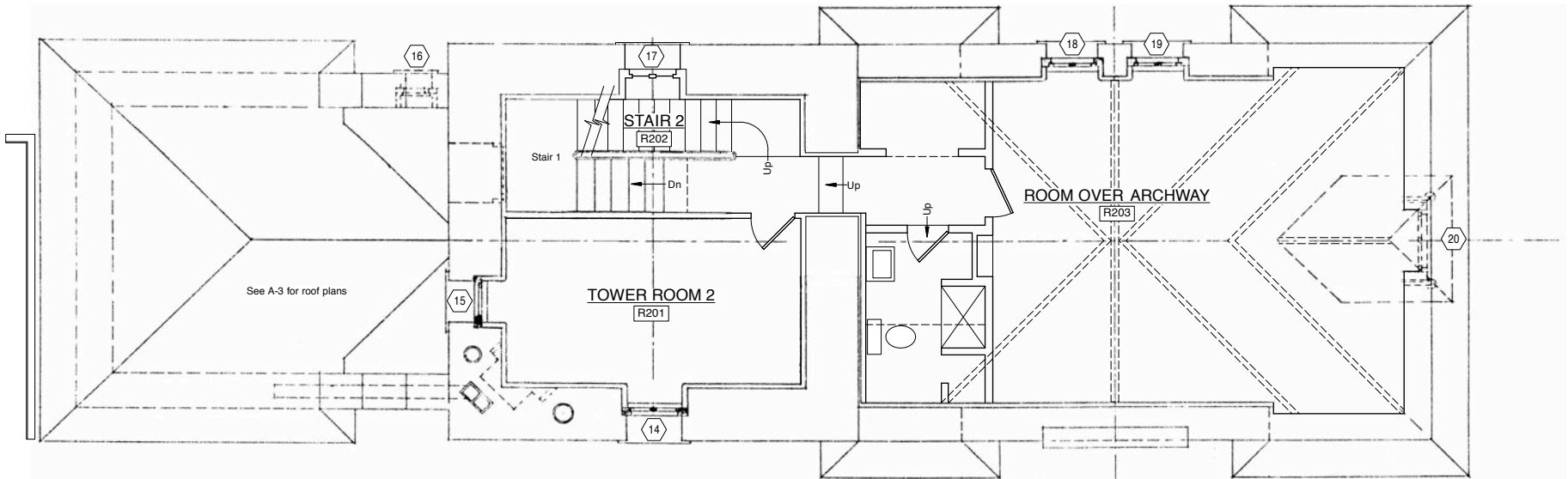
First Floor Plan

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BY: CKD: CDS
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A-1



Window Restoration:

(14) through (20) at this level will be new clad wooden casement windows w/ "leaded" insulating glass, except (16), which will be repair of original. (14) (15) & (17) will also have clad fixed wooden transoms w/ leaded glass. See window schedule.

Selective Finishes Removal:

Remove gypsum/plaster board walls & false ceiling in Tower Room. Leave related wooden framing & beadboard in place. Remove gypsum/plaster board walls & ceiling in Room Over Archway.

1
A-2
Second Floor Plan
1/4" = 1'-0"



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Second
Floor Plan

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DATE: May, 2015
DWG. NO.:

A-2



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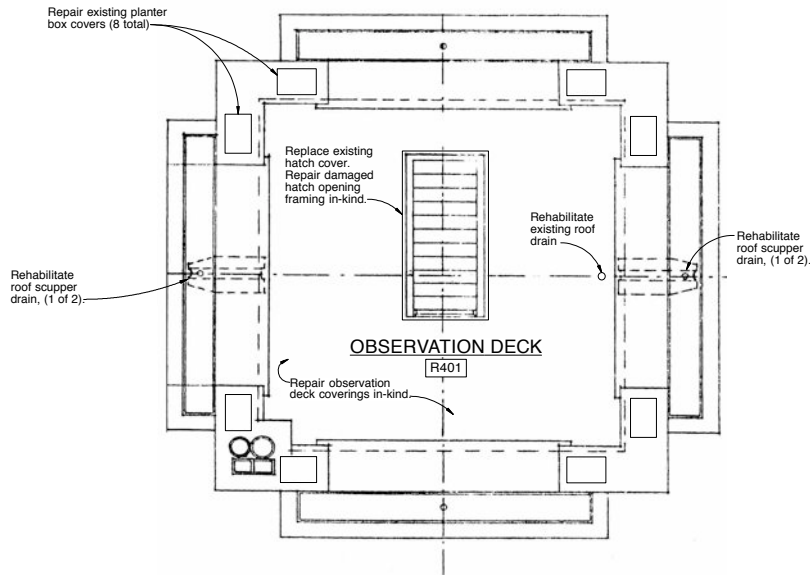
Third, Fourth
& Tower
Roof Plans

REVISION DATES

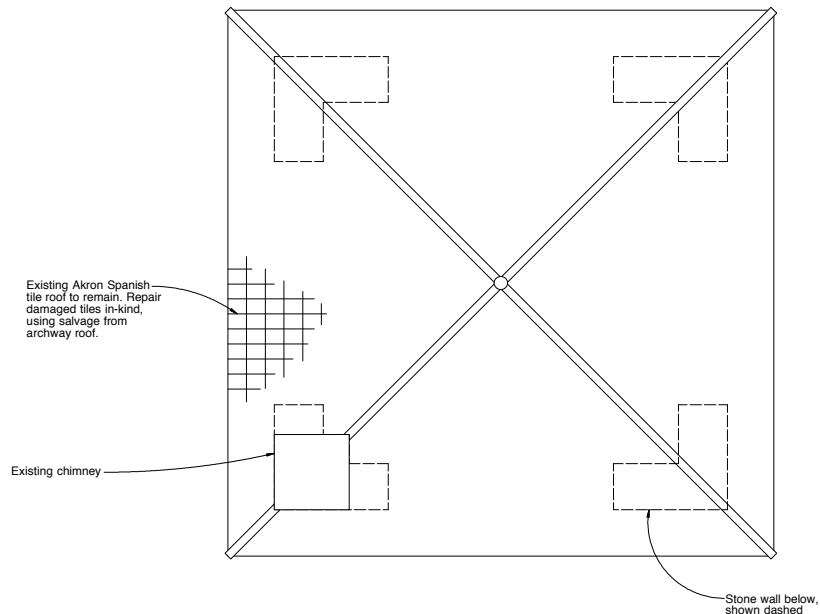
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DATE: May, 2015
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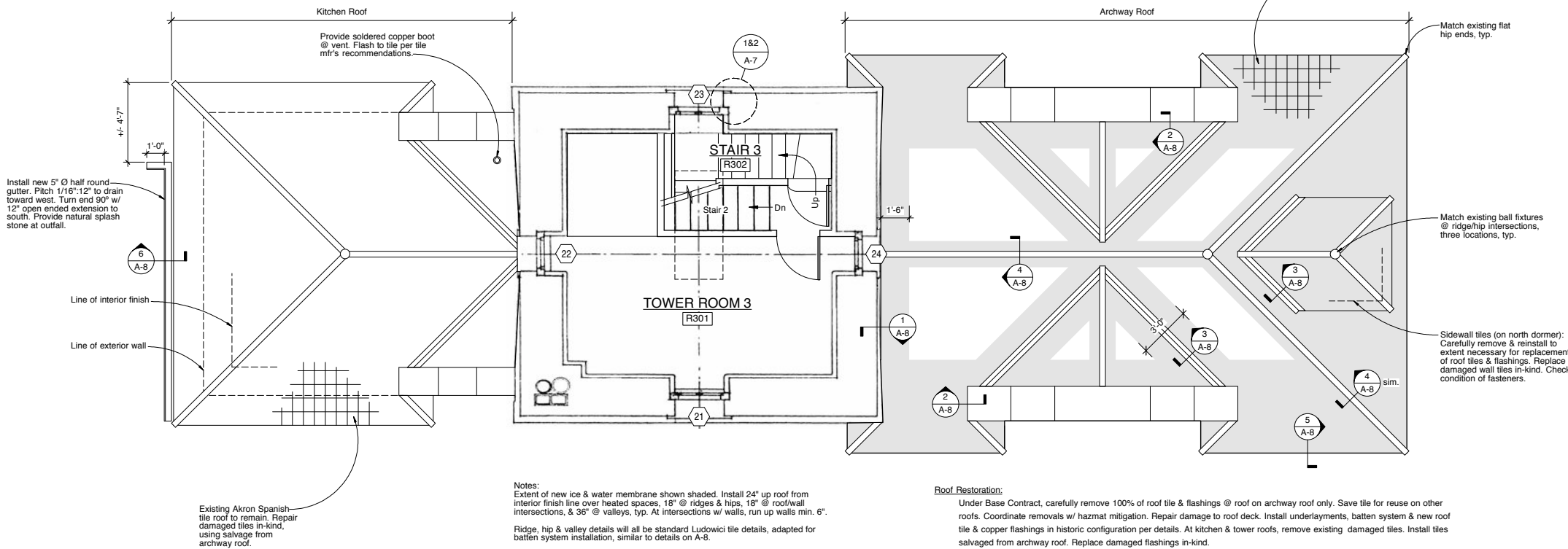
A-3



2
A-3 Fourth Floor Plan
1/4" = 1'-0"



3
A-3 Tower Roof Plan
1/4" = 1'-0"



1
A-3 Third Floor Plan & Roofs
1/4" = 1'-0"



Notes:
Extent of new ice & water membrane shown shaded. Install 24" up roof from interior finish line over heated spaces, 18" @ ridges & hips, 18" @ roof/wall intersections, & 36" @ valleys, typ. At intersections w/ walls, run up walls min. 6".
Ridge, hip & valley details will all be standard Ludowici tile details, adapted for batten system installation, similar to details on A-8.

Roof Restoration:

Under Base Contract, carefully remove 100% of roof tile & flashings @ roof on archway roof only. Save tile for reuse on other roofs. Coordinate removals w/ hazmat mitigation. Repair damage to roof deck. Install underlayments, batten system & new roof tile & copper flashings in historic configuration per details. At kitchen & tower roofs, remove existing damaged tiles. Install tiles salvaged from archway roof. Replace damaged flashings in-kind.
At observation deck level, clean out & repair drainage scuppers. Repair membrane as needed. Install new wooden hatch & copper cover in historic configuration. Reuse existing hinges, isolated from dissimilar metals for galvanic protection. See Alternates.

Window Restoration:

21, 22 & 24 at this level will be new clad wooden casement windows & clad fixed wooden transoms.
23 will be a new clad wooden casement window. All units will have leaded glass. See window schedule.

Selective Finishes Removal:

Remove all gypsum & plaster board finishes, & false ceiling. Leave related wooden framing & ferro concrete partitions in place.

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1 Building Section Looking West
A-4 3/16" = 1'-0"

2 Building Section Through Archway Looking South
A-4 3/16" = 1'-0"

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DRAWING TITLE

Building
Sections

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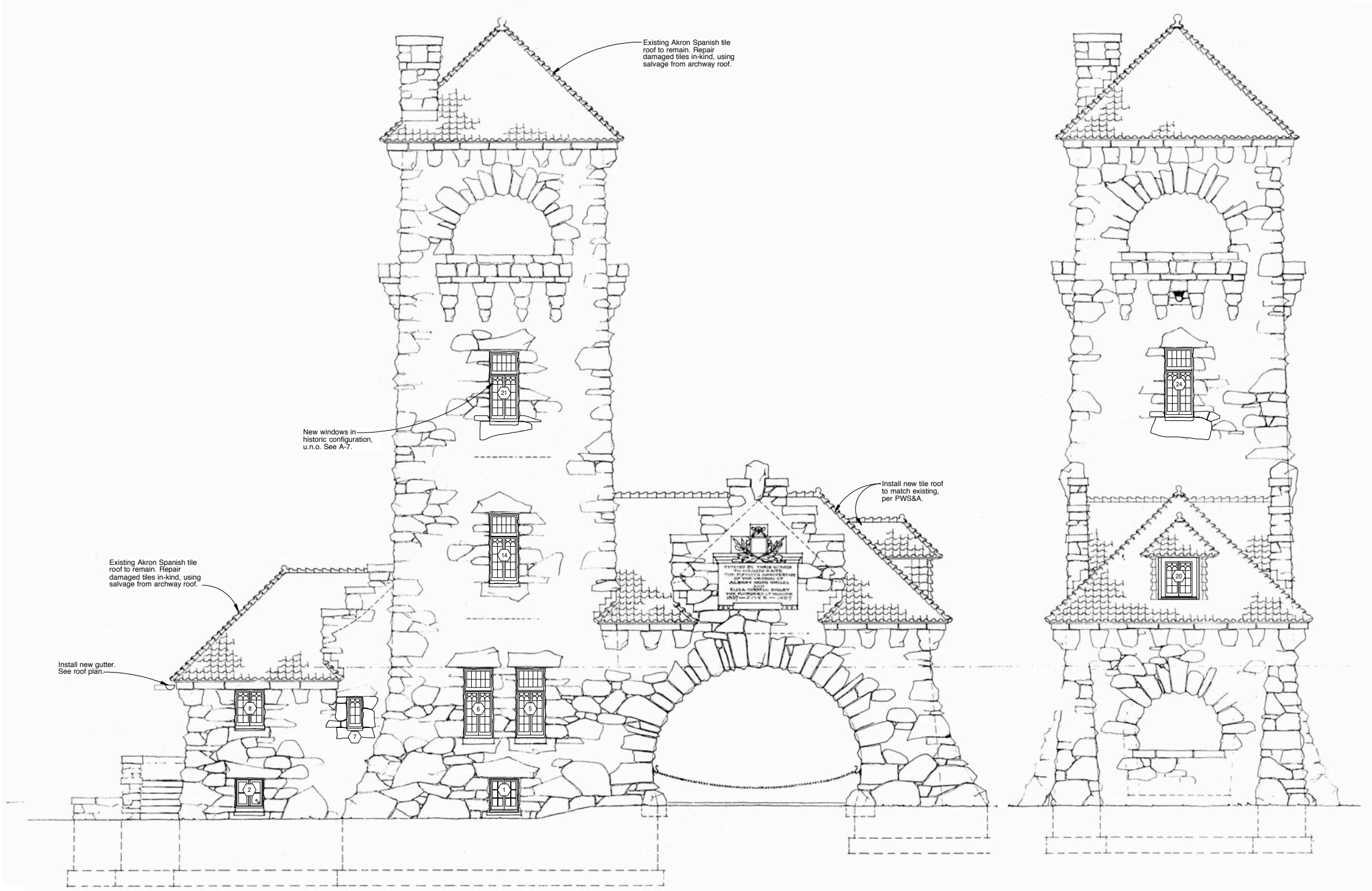
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BY: CKD: CDS

DATE: May, 2015

DWG. NO.:

A-4



1 East Elevation
A-5 NTS

Note:
Per Unit Cost UC2, repoint mortar joints to 2" depth, using Rosendale Natural Cement or naturally hydraulic lime equivalent. Aggregate shall be clean, w/ color & composition to precisely match existing when dry. Mix w/ clean, potable water. Ratio shall be 1 part Rosendale Natural Cement & 2 1/2 parts sand, measured by dry volume. Contractor shall provide samples of aggregate & fully cured samples w/ written description of each mix by ingredients & proportions for approval before removal of deteriorated mortar. Provide 24" square mock-up area using approved mix on southwest corner of building, for Architect approval.

2 North Elevation
A-5 NTS

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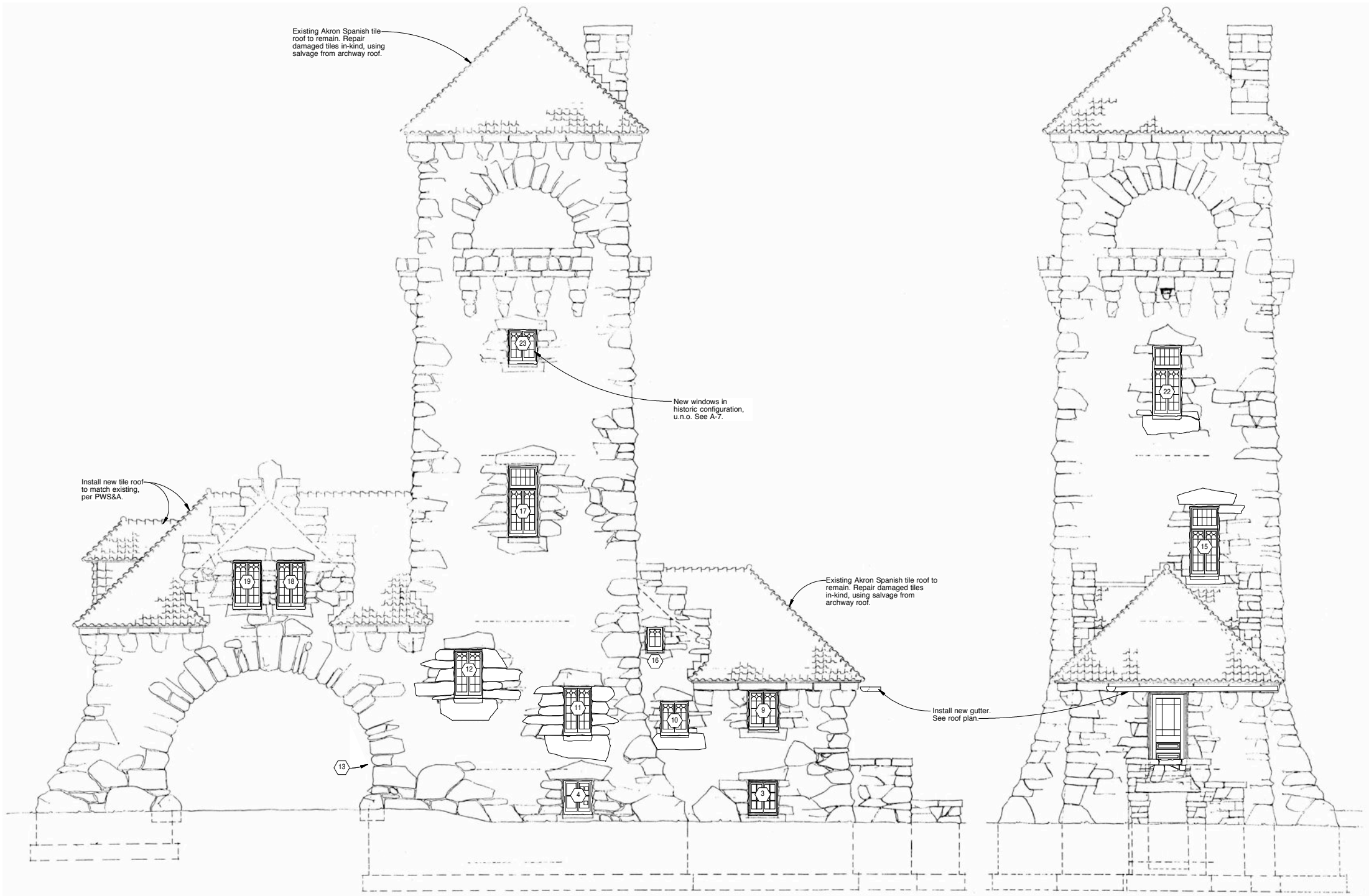
East &
North
Elevations

REVISION DATES

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PROJECT #: 1502
BY: CKD: CDS
DATE: May, 2015
DWG. NO.:

A-5



1 West Elevation
A-6 NTS

2 South Elevation
A-6 NTS

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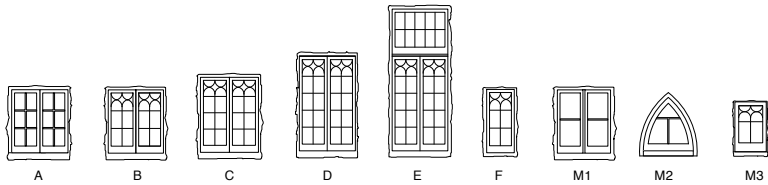
**West &
South
Elevations**

REVISION DATES

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5.7.15
**NOT FOR
CONSTRUCTION**

PROJECT #: 1502
BY: CKD: CDS
DATE: May, 2015
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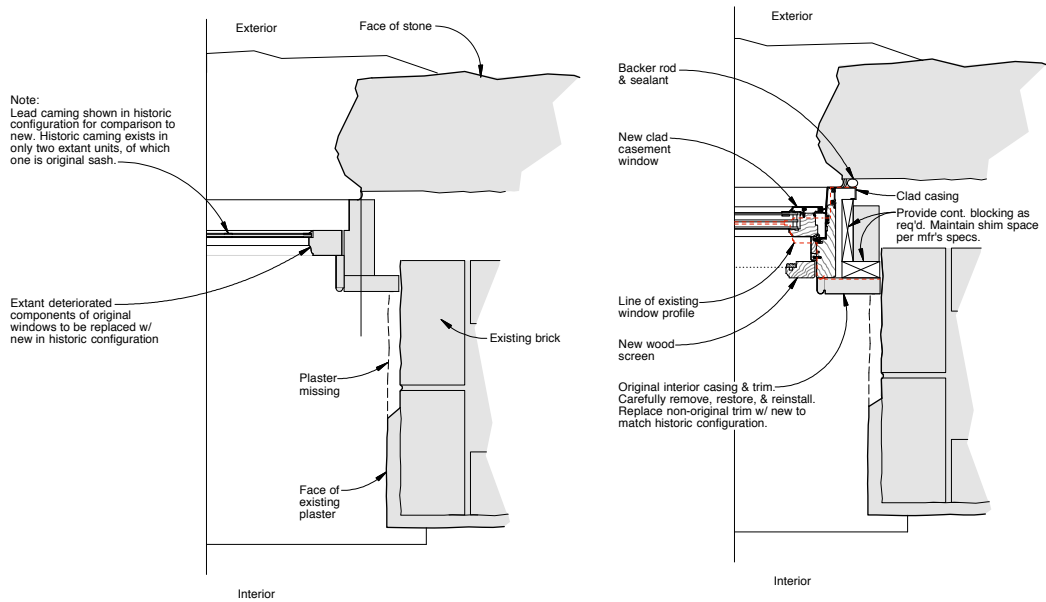
A-6



Window Types

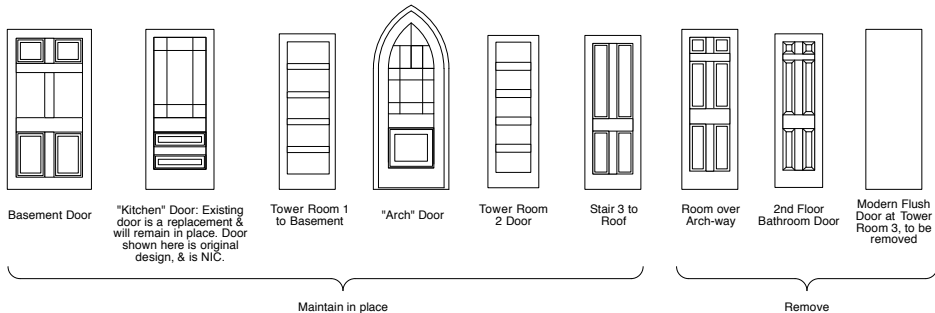
Window Notes:

1. Removal of existing windows shall be by installer of new windows.
2. Masonry openings are approximate, & not measured. All dimensions & conditions must be verified in the field.
3. Single line muntins shown here are intended to represent leaded coming. Lead coming light patterns shall be as shown on elevations & window types.
4. New window units shall be Marvin Clad Ultimate Casement/Push out Casement w/ insulated Low E glass. See elevations for units w/ transoms.
5. Coming shall be 12mm wide flat natural finish soldered lead to match historic original (window #16). Install coming on #1 & #2 glass surfaces, typ.
6. Two new basement units (type A windows) shall have clad 5/8" muntins w/ spacer bars. See schedule.
7. Provide 1 1/2" clad casings, u.n.o.
8. Bottom rail of all new sash shall be 3 1/2" high.
9. All cladding shall be "Medium Bronze" color, factory finish.
10. Interiors shall be non-finger jointed Pine w/ factory primer.
11. New units shall include sash & frame, without nailing flanges.
12. Provide wood framed bronze screens, factory primed.
13. Standard 4 9/16" jambs.
14. Window latch shall be classic push-out hardware system. All hardware to be dark bronze color.
15. Provide complete shop drawings of all new windows for approval.
16. Historic original interior casings shall be carefully removed & reinstalled on new window units per detail. Replicate damaged & deteriorated original casings exactly.



1 Jamb Detail @ Window #23- Existing
A-7 Schematic

2 Jamb Detail @ Window #23- New
A-7 Schematic Typ. of all clad unit installations



Door Types

Window Schedule

Room	Existing vs. New	Type	Masonry Op'g (to be field verified)	Muntins/Caming	Remarks
Basement					
1	New	A	2'-8" x 3'-1 3/4"	SDL	5/8" muntins, ogee. Bathroom vents to be removed. Relocation of existing bathroom vents to window #4 is N.I.C.
2	Existing	M1		Existing wood	Casement, 2 pane x 2. Repair & paint. Under Alternate 4, replace sash & accommodate oil pipe penetrations.
3	New	A		SDL	5/8" muntins, ogee. Remove non-historic frame. Prep for new.
4	Existing	M1		Existing wood	Casement, 2 pane x 2 csmt. Repair & paint. Accommodate future relocated bathroom vents. Under Alternate 4, replace sash.
First Floor					
5	New	E	2'-8" x 6'-5"	Lead Caming	
6		E	2'-8" x 6'-5"		
7		F	1'-6" x 2'-11"		Under Alternate 4, replace sash in historic design.
8		C	2'-8" x 3'-6"		
9		C	2'-8" x 3'-6"		
10		B	2'-7 1/2" x 2'-11 1/4"		
11		D	2'-7 1/4" x 4'-5"		
12		D	2'-7 1/4" x 4'-5"		Safety glazing required.
13	Existing	M2	2'-4 1/2" x 2'-7 3/4"	Existing wood	Lancet. Restore extant frame & sash in-kind.
Second Floor					
14	New	E	2'-7 1/4" x 6'-6"	Lead Caming	
15	New	E	2'-7 1/4" x 6'-6"		
16	Existing	M3	1'-6" x 2'-4"	Existing Lead Caming	Casement w/ lead coming. Restore extant frame & sash in-kind.
17	New	E	2'-7 1/4" x 6'-6"	Lead Caming	Safety glazing required.
18		D	2'-7 1/4" x 4'-5"		
19		D	2'-7 1/4" x 4'-5"		
20		C	--		3" casing. Window installed in wood framed wall.
Third Floor					
21	New	E	2'-8" x 6'-6"	Lead Caming	
22		E	2'-8" x 6'-6"		
23		B	2'-7 1/2" x 2'-11 1/4"		
24		E	2'-8" x 6'-6"		Carefully remove existing leaded transom. Give to Owner.

Room Rehabilitation Schedule

No.	Room	Floor	Base	Walls				Ceiling	Ceiling Height	Remarks
				North	East	South	West			
Basement										
RB01	Tower Bsmt.								9'-6 1/2"	See selective finishes removal notes on all plan drawings, typ.
RB02	Stair B								8'-8" (landing)	
RB03	Kitch. Bsmt.								9'-0 3/4"	
RB04	Areaway								--	↓
First Floor										
R101	Tower Room 1								9'-4 1/2"	See selective finishes removal notes on all plan drawings, typ.
R102	Stair 1								6'-2 3/4" & 7'-6" (landings)	
R103	Kitchen								8'-10 1/2"	
R104	Archway								--	↓
Second Floor										
R201	Tower Room 2								14'-7 1/4"	See selective finishes removal notes on all plan drawings, typ.
R202	Stair 2								9'-3 3/4" (landing)	
R203	Rm Over Archway								10'-7" (ridge)	
										↓
Third Floor										
R301	Tower Room 3								14'-8"	See selective finishes removal notes on all plan drawings, typ.
R302	Stair 3								13'-2 1/4" (lower landing)	
										↓
Fourth Floor										
R401	Observation Deck								--	

- General Notes:
1. These plans and elevations are based on a facsimile of the original drawings by "JAS E. WARE & SONS ARCHITECTS 1170 BROADWAY, NYC" provided by the Mohonk Preserve. They are not known to be as-built drawings.
 2. Stone balconies at observatory level & ground level buttresses were modified from that shown in historic drawings.
 3. Scales on drawings are in reference to the full size 22"x34" drawing sheet. For the 11"x17" format, reduce written scales by 50%.



Stabilization & Restoration Plans for the
Mohonk Preserve Testimonial Gateway
New Paltz, New York

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DRAWING TITLE

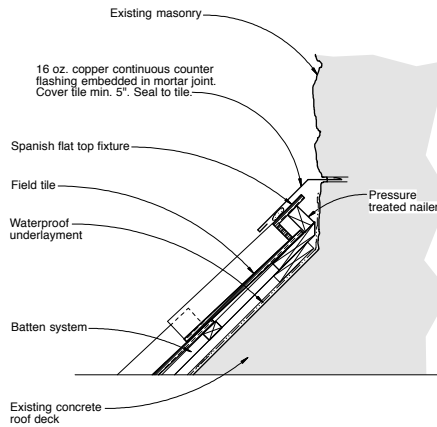
Window & Room
Rehabilitation
Schedules

REVISION DATES

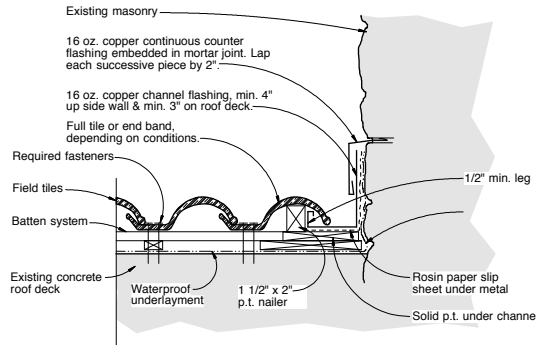
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PROJECT #: 1502
BY: CKD: CDS
DATE: May, 2015
DWG. NO.:

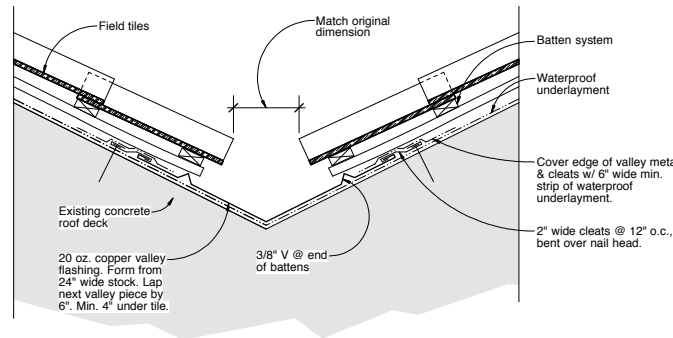
A-7



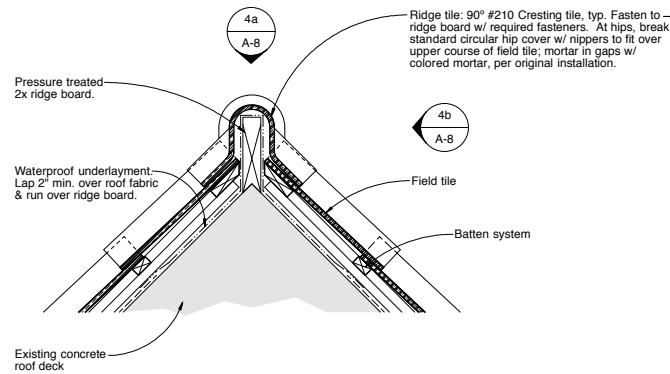
1 Section @ Roof & Wall
1 1/2" = 1'-0"



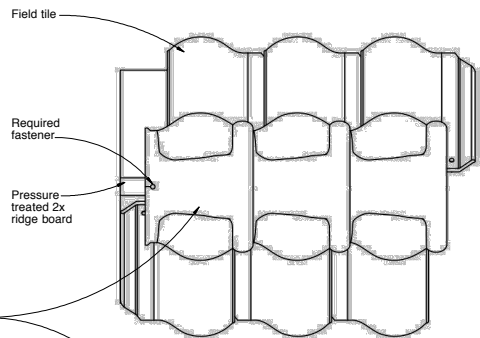
2 Section @ Roof & Wall
1 1/2" = 1'-0"



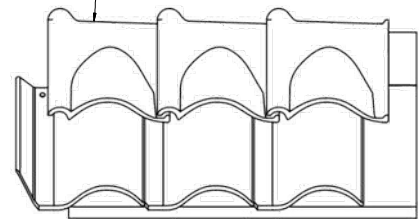
3 Section @ Valley
1 1/2" = 1'-0"



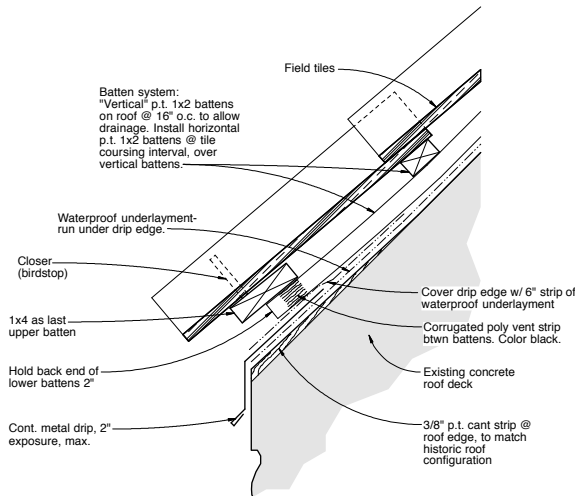
4 Section @ Ridge Cap
1 1/2" = 1'-0"



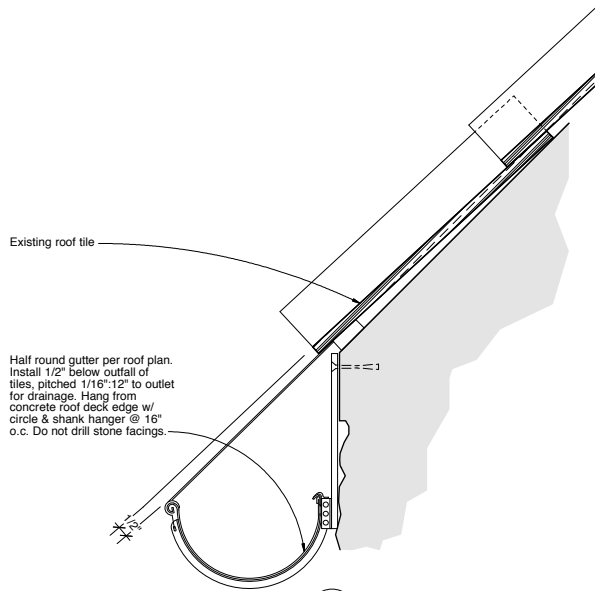
4a Plan @ Ridge Cap
A-8 Schematic



4b Elevation @ Ridge Cap
A-8 Schematic



5 Section @ Eave Edge
3" = 1'-0"



6 Section @ Eave Edge
3" = 1'-0"

Note:
If Alternate 3 is selected, hang gutter from new batten system w/ Regal Bar hanger straps @ 16" o.c. Dado upper batten to recess straps, as req'd for flush condition.

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DRAWING TITLE

Roof Details

REVISION DATES

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5.7.15
NOT FOR
CONSTRUCTION

PROJECT #: 1502

BY: CKD: CDS

DATE: May, 2015

DWG. NO.:

A-8